 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	19 December 2012
	REPORT OF:	HEAD OF POLICY, DEVELOPMENT AND PROPERTY
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AGENDA ITEM:	7	WARD: Kingswood with Burgh Heath

APPLICATION NUMBER:	12/01865/F	VALID:	26 October 2012
APPLICANT:	Safran Land Ltd (Mr James Hannah)	AGENT:	N/A
LOCATION:	KINGSWORTHY HOUSE, THE GLADE, KINGSWOOD, SURREY, KT20 6LH		
DESCRIPTION:	Demolition of existing building and erection of three dwellings		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

The application proposes the erection of three dwellings, two of which would have separate accesses gained from Forest Drive and one would utilise the existing access in The Glade. The dwellings would be setback from road frontages with their own garaging and have arts and crafts design embellishments.

The Glade is within a Residential Area of Special Character (RASC) and the Kingswood Conservation Area. There is a Group Tree Preservation Order to the front of the site and also an individual Tree Preservation Order on an Oak toward the eastern side. Site levels drop from The Glade so that the existing house sits at a much lower level than the road, which in combination with the trees and hedging along the frontage conceals the majority of the existing dwelling from the street frontage. The Glade rises up from Forest Drive.

The re-development of residential properties within the urban area is supported in both local and national planning policies, as is the more efficient use of land, to help meet local housing need. The proposal follows on from an application for flats on the site that was refused due to the depth and bulk of the apartment block being uncharacteristic of the RASC, the intensification of the site and associated vehicular activity leading to noise and disturbance as well as windows being in close proximity to the property Beaverbank leading to significant overlooking.

In this instance the distance of the new dwellings from the property Beaverbank is greater than the previous scheme, which in combination with the change in levels between the properties ensures that there would not be an unacceptable degree of overlooking upon this neighbour. There would also continue to be only one property using the access onto The Glade which ensures that there would not be an intensification of its access drive and therefore not a significant impact by virtue of noise and disturbance. The two new accesses that would serve the dwellings fronting onto Forest Drive would be a sufficient distance from other properties to prevent any significant vehicular disturbance to neighbours.

The proposed development would result in two buildings facing Forest Drive and one onto The Glade. This design approach allows each building to appear well-separated from their boundaries and from each other, so as to maintain the spacing that characterises the locality. The houses would be comparable in form and scale to other dwellings along Forest Drive and the levels of the site are such that the house facing The Glade would be at a lower level than the road so that it appears subordinate to the existing trees and hedging along the frontage.

The proposal would therefore continue to maintain spacing from the boundaries which characterises the area and is commensurate with the RASC designation.

The site is within the Kingswood Conservation Area, and is therefore afforded additional protection of character under Borough Local Plan policies. In particular policy Pc13 seeks for all new development to be carefully controlled in order to complement and enhance the character of the conservation area.

Although the existing house is one of the older remaining properties within the Conservation Area it is not listed, either statutorily or locally, and it does not feature within the public street scene to any discernible degree. The conservation officer accepts that the proposal has had regard to the existing architectural style and composition of the locality, but feels that the depth of buildings is out of character. This would not be readily perceived within the street scene and so is not considered to be objectionable in principle. He has recommended conditions to ensure a suitable finish to the buildings.

Whilst resulting in some change to the appearance of the locality, the proposal has been designed to respond to both the conservation area and RASC designations, and ensures the retention of the high level of amenity enjoyed by local residents. The overall bulk and massing of the buildings would not be out of character with the locality. On this basis the proposal is considered acceptable.

RECOMMENDATION(S)

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority: The County Highway Authority has undertaken an assessment in terms of the likely additional traffic generation, access arrangements and parking provision and are satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway. The County Highway Authority therefore has no highway requirements.

Kingswood Residents' Association: question whether the architectural style of the houses and the reduced plot sizes meet the requirements of the conservation area and plot sizes of the area.

Representations:

Letters were sent to neighbouring properties on 2 November 2012, a site notice was posted 6 November 2012. 10 responses have been received raising the following issues:

Issue	Number	Response
Out of character with surrounding area	8	See paragraphs 5.2 - 5.8
Overdevelopment	3	See paragraphs 5.2 - 5.8
Harm to Conservation Area	3	See paragraphs 5.2 - 5.8
Loss of buildings	2	See paragraphs 5.2 - 5.8
Loss of/harm to trees	2	See paragraph 5.8
Overbearing relationship	1	See paragraphs 5.9 - 5.14
Inadequate parking	1	See paragraph 5.16
Drainage/sewage capacity	1	See paragraph 5.20
Hazard to highway safety	1	See paragraph 5.16
No need for the development	1	See paragraph 5.2
Increase in traffic and congestion	1	See paragraph 5.16
Flooding	1	See paragraph 5.20
Alternative location/ proposal preferred	1	See paragraph 5.2

1.0 Site and Character Appraisal

1.1 The site is accessed from The Glade, which is within a Residential Area of Special Character (RASC) and within the Kingswood Conservation Area. There is a Group Tree Preservation Order to the front of the site and also an individual tree preservation order on an oak toward the eastern side. Site levels descend from The Glade so that the existing house sits at a much lower

level to it, which in combination with the trees and hedging along the frontage conceals the majority of the existing dwelling from the street frontage. The Glade rises up from Forest Drive. The existing dwelling is a two-storey, tile-hung, arts and crafts style dwelling with gable features.

- 1.2 The site envelopes neighbouring properties Horsley House to the west and also abuts Forest Drive. The application site is in an elevated position to Forest Drive.
- 1.3 To the west of the site is Beaverbank, which has windows facing both The Glade and down onto the application site. The Glade is characterised by a mixture of houses, mostly with a good degree of separation from the road and a mix of mature hedging and trees along their frontage. Forest Drive also has good levels of hedging and trees, although many frontages are more open so dwellings may be clearly perceived within the street scene. There is no Conservation Area appraisal for Kingswood.

2.0 Added Value

- 2.1 Improvements secured during the course of the application: the applicants have improved the design of the dwellings to better accord with the conservation area designation.
- 2.2 Further improvements could be secured: the use of conditions will ensure a suitable finish to the buildings.

3.0 Relevant Planning and Enforcement History

- | | | | |
|-----|------------|--|--|
| 3.1 | 11/01602/F | Demolition of existing building and the erection of three dwellings | Withdrawn by applicant
4 November 2011 |
| 3.2 | 12/00636/F | Demolition of existing building and erection of a building comprising seven apartments and erection of a detached dwelling | Refused 5 July 2012
Currently at appeal |

4.0 Proposal and Design Approach

- 4.1 This is a full application for demolition of the existing dwelling and replacement with three dwellings. Two would face onto Forest Drive and be in a raised position to that frontage and set back at least 25 metres from the highway, while the third would face onto and be accessed from The Glade, closer to this street scene than the existing building but still a minimum of nine

metres from this frontage. The dwellings are designed to have an arts and crafts style.

4.2 Circular 01/06 confirms that a design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:

- Assessment;
- Involvement;
- Evaluation; and
- Design.

4.3 Evidence of the applicant's design approach is set out below:

Assessment	The character of the surrounding area is assessed as being residential with varied housing designs in an Arcadian setting.
	Site features meriting retention are listed as trees and hedging, the set back of buildings, and arts and crafts architectural detailing.
Involvement	No community consultation took place.
Evaluation	The spacing and design of dwellings within the surrounding area, including recent infill developments, are listed as having influenced the current proposal.
Design	The applicant's reasons for choosing the proposal from the available options were that spacing between dwellings is commensurate with the locality, that the materials and design of each dwelling will be varied and that significant trees and hedging about the site are maintained.

4.4 Further details of the development are as follows:

Site area	0.38 hectares
Proposed parking spaces	Seven
Parking standard	Six
Net increase in dwellings	Two
Proposed site density	7.9 dwellings per hectare
Density of the surrounding area	4.3 dwellings per hectare (Beaverbank, Glade Croft and Glade Cottage)

4.5 The South East Plan 2009

Spatial Strategy	SP3
Cross-Cutting Policies	CC4, CC6
Housing	H1, H2, H4, H5
Natural Resource Management	NRM10, NRM11
London Fringe	LF1, LF5, LF10

4.6 Reigate & Banstead Borough Local Plan 2005

Landscape & Nature Conservation	Pc4
Conservation Areas	Pc12, Pc13, Pc14
Housing	Ho9, Ho13, Ho15, Ho16
Movement	Mo5, Mo6, Mo7

4.7 Other Material Considerations

National Guidance	National Planning Policy Framework
Supplementary Planning Guidance	Surrey Design Local Distinctiveness Design Guide A Parking Strategy for Surrey Parking Standards for Development Planning Obligations and Infrastructure SPD
Other	Human Rights Act 1998 Community Infrastructure Levy Regulations 2010

5.0 Assessment

5.1 The main issues to consider are:

- Design appraisal
- Neighbour amenity
- Access and parking
- Infrastructure contributions
- Renewable energy
- Drainage, sewerage capacity and flood risk

Design appraisal

5.2 The site is located within The Glade Residential Area of Special Character (RASC), identified for its large buildings within spacious plots and

predominance of soft landscaping. The re-development of residential properties within the urban area is supported in both local and national planning policies, within the RASC or the conservation area, as ultimately the issue to determine is one of appearance and character.

- 5.3 In this case the proposed development would result in three buildings on the site, two fronting Forest Drive and one fronting The Glade. The development would therefore feature within two separate road frontages. This design approach allows each building to appear well-separated from their boundaries and from each other, so as to maintain the spacing of the locality. The houses would also be comparable in scale and massing to other nearby dwellings, which in combination with the distances from the road ensures that they appear subordinate to the existing trees and hedging along the frontage.
- 5.4 The proposal would therefore continue to maintain significant spacing from the boundaries, and is considered appropriate in this regard.
- 5.5 The site is within the Kingswood Conservation Area and is afforded additional protection under Borough Local Plan policies. In particular policy Pc13 requires all new development to be carefully controlled in order to complement and enhance the character of the conservation area.
- 5.6 The buildings themselves have been subject to scrutiny and have been refined to provide highly articulated features such as chimneys and window proportions that respect the conservation area character. The layout is also arranged so the new buildings will not be prominent within their respective street scenes. The conservation officer would seek to resist the loss of the existing house due to its relationship with other arts and crafts houses in the conservation area and also because of the architect that designed it. However in considering and determining the application it should be noted that the house is not listed, either statutorily or locally, and does not feature within the public street scene to any discernible degree. Its demolition is therefore difficult to resist, provided well-designed replacements are secured. The conservation officer does agree that the proposal has had regard to the existing architectural style and composition of the locality, but has concerns regarding the depth of buildings. This is another aspect that it is considered would not be perceived within the street scene and, on balance, the proposal is considered to provide a high-quality development that would preserve the character of the area.
- 5.7 The parking areas would be well screened from views in the road and a robust level of soft landscaping would remain about the buildings and the parking areas. The use of conditions would also require an appropriate surfacing for the hardstanding areas to complement the conservation area.

- 5.8 The proposal has been designed to ensure that significant trees and hedging are retained to continue their predominance over buildings, which in combination with the above and having regard to all other matters, including the high quality design approach, leads me to the conclusion that the proposal would preserve/enhance the character of the conservation area and the locality in general, in line with the relevant Local Plan policies.

Neighbour amenity

- 5.9 The proposal has been designed to maintain spacing from the boundaries. The Plot 1 dwelling has been designed to provide a good level of separation from neighbouring property Horsley Cottage, and is at least 27 metres from Horsley Cottage itself. This is sufficient to ensure that it would not cause unacceptable overbearing, loss of outlook or overshadowing impacts upon this property. Whilst there would be the introduction of windows closer to the garden area of Horsley Cottage, the distance of the Plot 1 dwelling from the boundary of this neighbour would prevent any significant overlooking.
- 5.10 The access for Plot 1 would not change significantly from the existing access onto The Glade, and so its use would not cause a significant level of noise and disturbance.
- 5.11 There is an adequate distance between the Plot 1 dwelling and Beaverbank to ensure high levels of privacy are maintained, which is further aided by the mature hedge on the boundary and the change in levels between properties. There would be sufficient distance between the Plot 1 dwelling and dwellings on the other side of The Glade to ensure an acceptable relationship.
- 5.12 The proposed houses fronting onto Forest Drive (Plots 2 & 3) are designed so that windows above ground floor on the side elevations may be obscure-glazed to prevent significant overlooking, and are sited to ensure no significant overlooking, overbearing or overshadowing effects upon their neighbours. Whilst it is accepted that there would be a change in view with the introduction of dwellings in this location, and also with regard to the Plot 1 dwelling being located closer to The Glade frontage, this would not cause significant harm to the appearance of the site from the public realm and there would be no significant loss of outlook to neighbouring properties.
- 5.13 The construction phase is an inevitable part of any development, and other legislation exists to ensure that neighbours do not endure excessive levels of disturbance.
- 5.14 With regard to the above, and having taken all other considerations into account, including relevant Borough Local Plan policies, the proposal would not cause a significant impact upon the amenity of neighbouring properties

to the extent where it would constitute a reason to refuse or resist the application.

Access and parking

- 5.16 The County Highway Authority has been consulted on the application and has no objection on highway safety or capacity grounds. The proposal would clearly result in an increase in vehicle numbers and movements to and from the site, but the new and existing accesses to the site are designed to meet current standards. The number of car movements would still be relatively insignificant given the existing use of both Forest Drive and The Glade and so the proposal could not be reasonably resisted for this reason. The number of parking spaces is above the maximum standard, but it is only advisory for schemes of this size.

Infrastructure Contributions

- 5.17 The Community Infrastructure Levy (CIL) Regulations were introduced in April 2010 which state that it is unlawful to take a planning obligation into account unless its requirements are (i) relevant to planning; (ii) necessary to make the proposed development acceptable in planning terms; and (iii) directly related to the proposed development.
- 5.18 As such only contributions that are directly required as a consequence of development can be requested and such requests must be fully justified with evidence including costed spending plans to demonstrate what the money requested would be spent on. It is therefore the responsibility of the service providers to demonstrate the infrastructure needs directly resulting from a development and make requests for such to the Local Planning Authority. In this case, none of the service providers have been able to demonstrate the impact on infrastructure that this specific development would have. Accordingly, any request for an infrastructure contribution would be contrary to CIL Regulation 122.

Renewable energy

- 5.19 Borough Local Plan policy Ho9 requires all new housing to take into account the requirements of energy conservation, and South East Plan policy NRM11 requires schemes of 10 units or more to generate a minimum 10% of their energy requirements through renewable or low-carbon sources. The applicants have provided an energy statement that considers a range of option for reducing the carbon output of the development. These are considered acceptable and an informative shall encourage renewable technologies.

Drainage, sewerage capacity and flood risk

5.20 The proposal would require consent from the appropriate undertaker to connect to the sewer network. If the undertaker refused permission due to insufficient capacity the site would need to deal with foul water in another manner, such as an on-site cesspit. This and the suitability of appropriate drainage facilities, such as soakaways would be determined through the building regulations if development went ahead. Accordingly there are other controls in place to ensure these elements are acceptable and there is no need to duplicate them through the planning decision.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: In accordance with "Greater Flexibility for Planning Permissions Guidance" (DCLG) 2010

Plan Type	Reference	Version	Date Received
Floor Plan	1218/12		26.10.2012
Roof Plan	1218/13	A	10.11.2012
Roof Plan	1218/14	A	10.11.2012
Elevation Plan	1218/15	A	10.11.2012
Elevation Plan	1218/16	A	10.11.2012
Elevation Plan	1218/17	A	10.11.2012
Elevation Plan	1218/18	A	10.11.2012
Floor Plan	1218/19		26.10.2012
Floor Plan	1218/20		26.10.2012
Roof Plan	1218/21	A	10.11.2012
Roof Plan	1218/22	A	10.11.2012
Elevation Plan	1218/23	A	10.11.2012
Elevation Plan	1218/24	A	10.11.2012
Elevation Plan	1218/25		26.10.2012
Elevation Plan	1218/26	A	10.11.2012
Proposed Plans	1218/27		26.10.2012
Section Plan	1218/28	A	10.11.2012
Floor Plan	1218/03		26.10.2012
Floor Plan	1218/04		26.10.2012
Roof Plan	1218/05	A	10.11.2012
Roof Plan	1218/06	A	10.11.2012
Elevation Plan	1218/07	A	10.11.2012
Elevation Plan	1218/08	A	10.11.2012
Elevation Plan	1218/09	A	10.11.2012
Elevation Plan	1218/10		26.10.2012
Floor Plan	1218/11		26.10.2012

Survey Plan	S11/3208/01	26.10.2012
Survey Plan	BLC110167	26.10.2012
Site Layout Plan	1218/02	26.10.2012

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason:

To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

3. No development works, including ground preparation or demolition, shall commence until a detailed, scaled Tree Protection Plan (TPP) and the related Arboricultural Method Statement (AMS) has been submitted to and approved in writing by the Local Planning Authority. These shall include details of the specification and location of exclusion fencing, ground protection and any construction activity that may take place within the Root Protection Areas of trees (RPA) shown to scale on the TPP. The AMS shall also include a supervisory regime for their implementation & monitoring with a reporting process to the Local Planning Authority. All works shall be carried out in strict accordance with these details when approved or as otherwise agreed in writing by the Local Planning Authority.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837 "Trees in Relation to Construction - Recommendations" and policies Pc4, Ho9, Ho13 and Ho15 of the Reigate and Banstead Borough Local Plan 2005.

4. No development shall commence on site until a scheme for the landscaping of the site has been submitted to and approved in writing by the Local Planning Authority. Landscaping schemes shall include details of hard landscaping, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme prior to occupation or use of the development hereby approved or in accordance with a programme agreed with the Local Planning Authority.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason:

To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4, Ho9, Ho13 and Ho15 of the Reigate and Banstead Borough Local Plan 2005 and the recommendations within British Standard 5837.

5. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings, and the development shall be carried out in accordance with the approved levels.

Reason:

To ensure the Local Planning Authority is satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho15.

6. Notwithstanding the drawings hereby approved, the proposed external finishing materials and details shall be carried out using the external facing materials and details specified below:

- a) All tiles and tile hanging shall be of handmade sand-faced plain clay tiles with bonnet tiles to hips and sprocket eaves.

- b) all external joinery shall be of painted timber with black painted timber framing and architraved bargeboards with no box ends. Before works commence a sample panel of framing, infill and bargeboards shall be submitted to and approved in writing by the Local Planning Authority before works commence.

- c) All casements shall be of white painted timber with casements in each opening and leaded light panes, details of which shall be submitted and approved in writing by the LPA prior to the commencement of works.

- d) All flat-roof dormers shall have a white painted timber ogee cornice.

- e) All brick work shall be handmade brick in Flemish bond with dark multi-stock brick for the main walling and red brick quoins and surrounds.

- f) All arches shall be of gauged brick or radiating tile creasing.

- g) All rainwater goods shall be of black painted cast metal.

- h) All rooflights shall be black painted conservation rooflights with a single vertical glazing bar.

Reason:

To ensure the Local Planning Authority is satisfied with the details of the proposal and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho15 and Pc13.

7. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected, including gates and piers, has been submitted to and approved in writing by the Local Planning Authority. The boundary treatment shall be completed before the occupation of the development hereby permitted.

Reason:

To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13, Ho14, Ho15, Pc4 and Pc13.

8. No development shall commence on site until a Method of Construction Statement, to include details of:
- (a) Parking for vehicles of site personnel, operatives and visitors;
 - (b) Loading and unloading of plant and materials;
 - (c) Storage of plant and materials;
 - (d) A programme of works (including measures for traffic management); and
 - (e) Provision of boundary hoarding behind any visibility splays; and
 - (f) A communication plan to ensure that nearby residents and businesses are given advance notice of the construction programme, including any unusual deliveries, and are able to take up any issues that may arise with a nominated site manager;

Has been submitted to and been approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction period.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to nearby occupiers or other highway users with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Mo7.

9. The first floor windows in the side elevations of the Plot 3 house hereby permitted shall be glazed with obscured glass which shall be fixed shut, apart from a top hung opening fanlight whose cill height shall not be less than 1.7 metres above internal floor level, and shall be maintained as such at all times.

Reason:

To ensure that the development does not affect the amenity of the neighbouring property by overlooking with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
2. The applicant is advised that prior to the initial occupation of any individual dwelling hereby permitted, a 140 litre wheeled bin conforming to British Standard BSEN840 and a 60 litre recycling box should be provided for the exclusive use of the occupants of that dwelling. Prior to the initial occupation of any communal dwellings or flats, wheeled refuse bins conforming to British Standard BSEN840, separate recycling bins for paper/card and mixed cans, and storage facilities for the bins should be installed by the developer

prior to the initial occupation of any dwelling hereby permitted. Further details on the required number and specification of wheeled bins and recycling boxes is available from the Council's Neighbourhood Services on 01737 276501 or 01737 276097, or on the Council's website at www.reigate-banstead.gov.uk. Bins and boxes meeting the specification may be purchased from any appropriate source, including the Council's Neighbourhood Services Unit on 01737 276775.

3. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
 - (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

4. The applicant is encouraged to provide renewable technology within the development hereby permitted in order to reduce greenhouse gas emissions.
5. The essential requirements for an acceptable communication plan, as required by Condition 8 above, are viewed as:
 - (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme;
 - (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them;
 - (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours;

(iv) the name and contact details of the site manager who will be able to deal with complaints; and

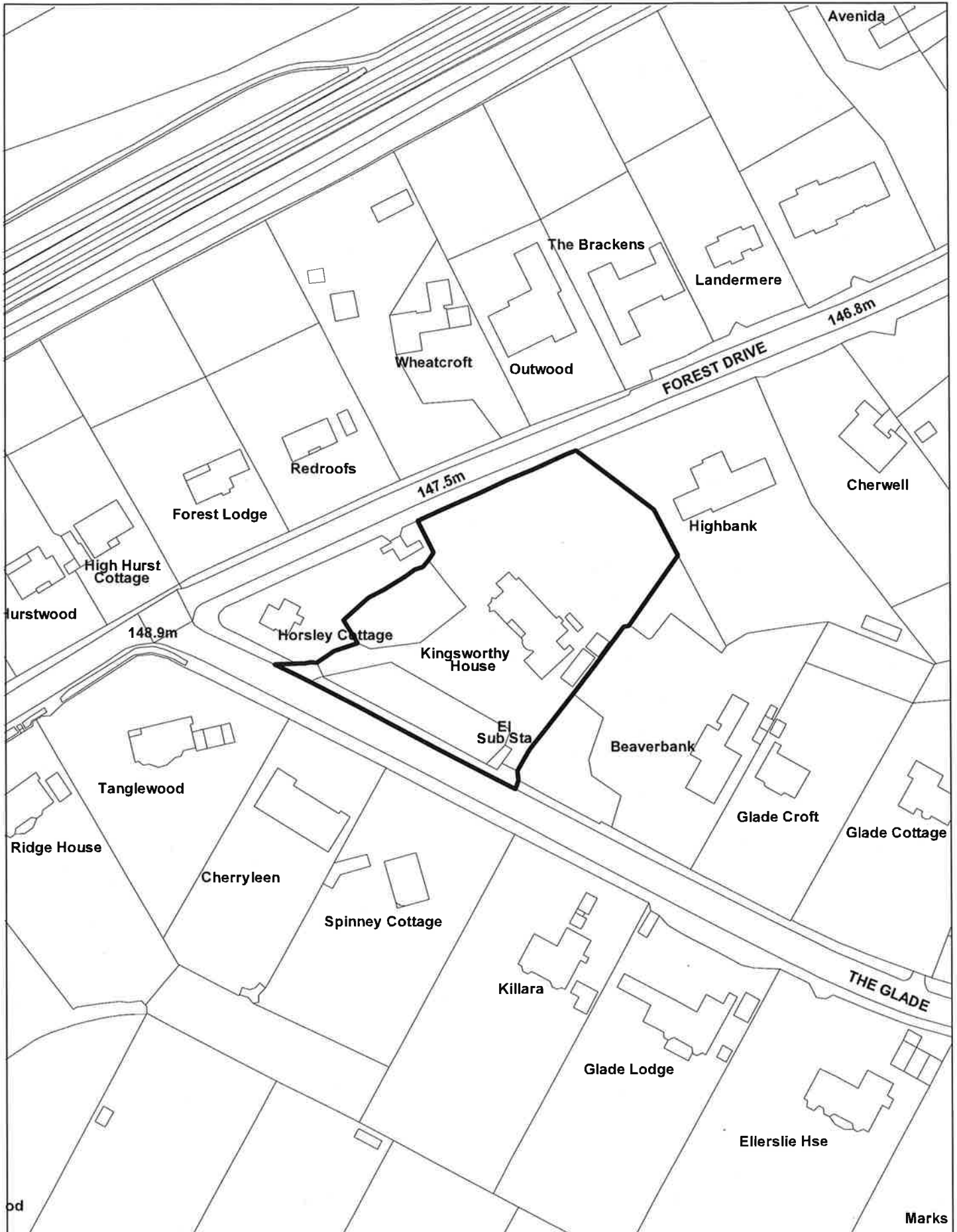
(v) how those who are interested in or affected will be routinely advised regarding the progress of the work.

Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.

REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies SP3, CC4, CC6, H1, H2, H4, H5, NRM10, NRM11, LF1, LF5, LF10, Pc4, Ho9, Ho13, Ho15, Ho16, Pc4, Pc12, Pc13, Pc14, Mo5, Mo6, Mo7 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

12/01865/F - KINGSWORTHY HOUSE, THE GLADE, KINGSWOOD





2 No. 'Picea pungens glauca' semi mature replacement trees 5-6m high proposed to mitigate the loss of tree no. 35 (canopies indicative only)

LEGEND

- Existing structures to be demolished
- Outline of previous Plot 1 footprint position
- Existing vegetation to boundary to be maintained
- Existing trees to be maintained
- Existing trees and vegetation to be removed
- New areas of tarmac finish
- 🌳 New tree planting to Landscape drawing
- 20.48 Existing site levels

Project Kingsworthy House, Forest Drive, Kingswood, Surrey

Title Proposed site plan

Status Planning

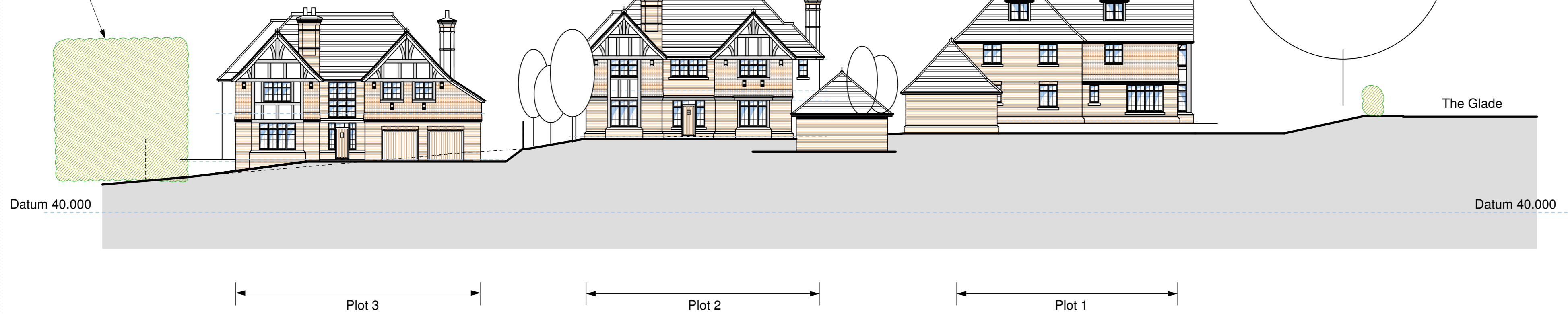
Date October 2012

Dwg No 1218 / 02

Rev

Scale 1:200 @ A1

Extg. boundary cypress hedge
9m high



Rev. A - 5/12/12 - Revised elevations added that show the additional chimneys to each plot

Project Residential Development at 'Kingsworthy House' The Glade, Kingswood Surrey KT20 6LH

Date October 2012

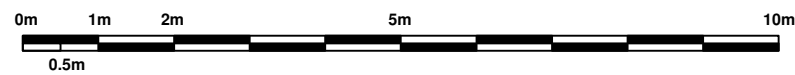
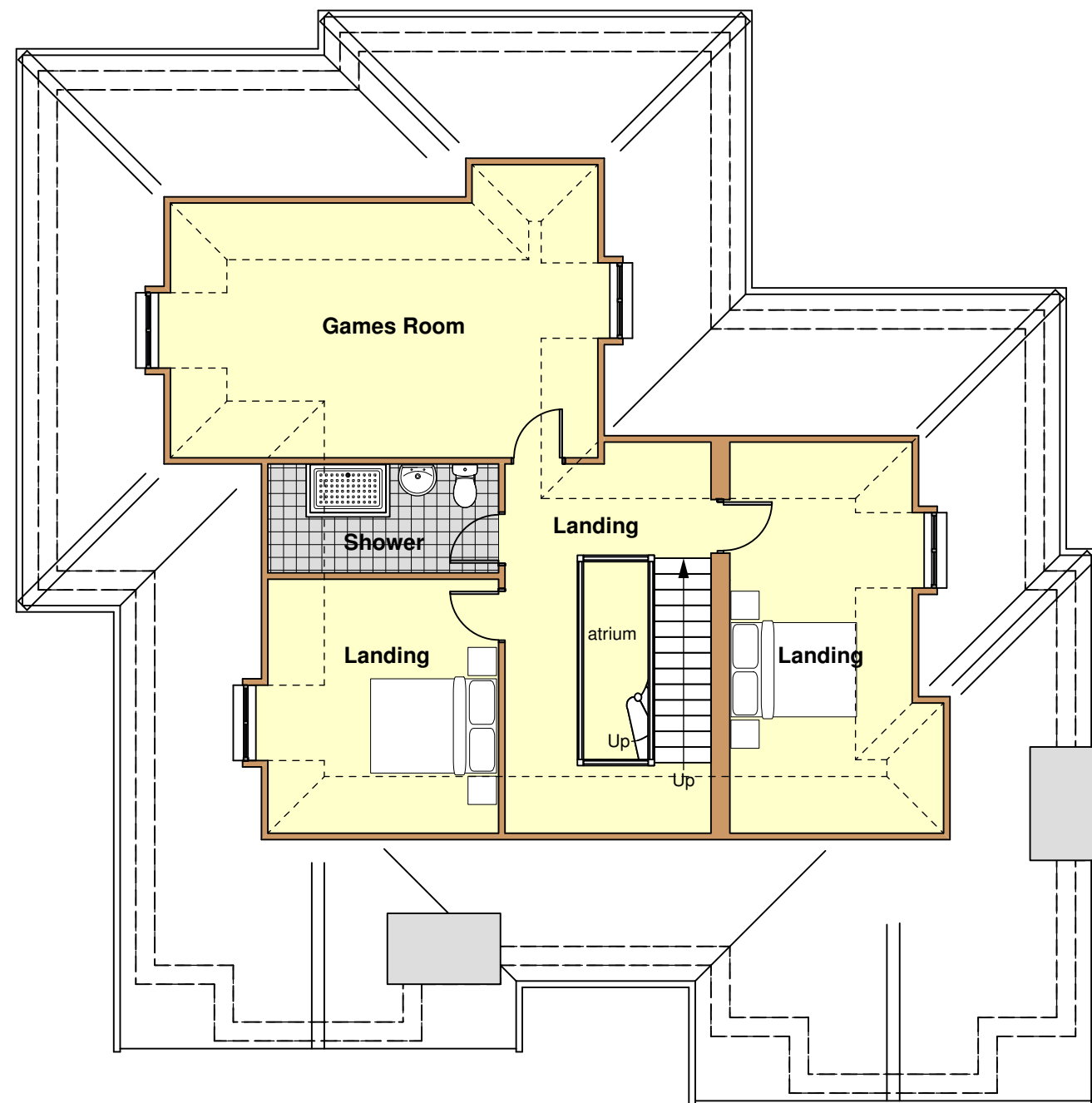
Scale 1:200 @ A2

Title Sectional Elevation 2 - 2 taken through the site facing south east

Status **Planning**

Dwg No 1218 / 28

Rev A



Rev. A - 5/12/12 - Additional chimmney shown

Project

3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date

October 2012

Scale

1:100 @ A3

Title

Plot 1 - Roof Space Plan

Status

Planning

Dwg No

1218 / 05

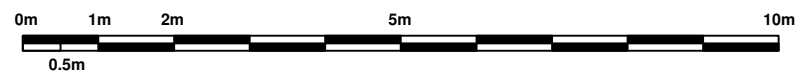
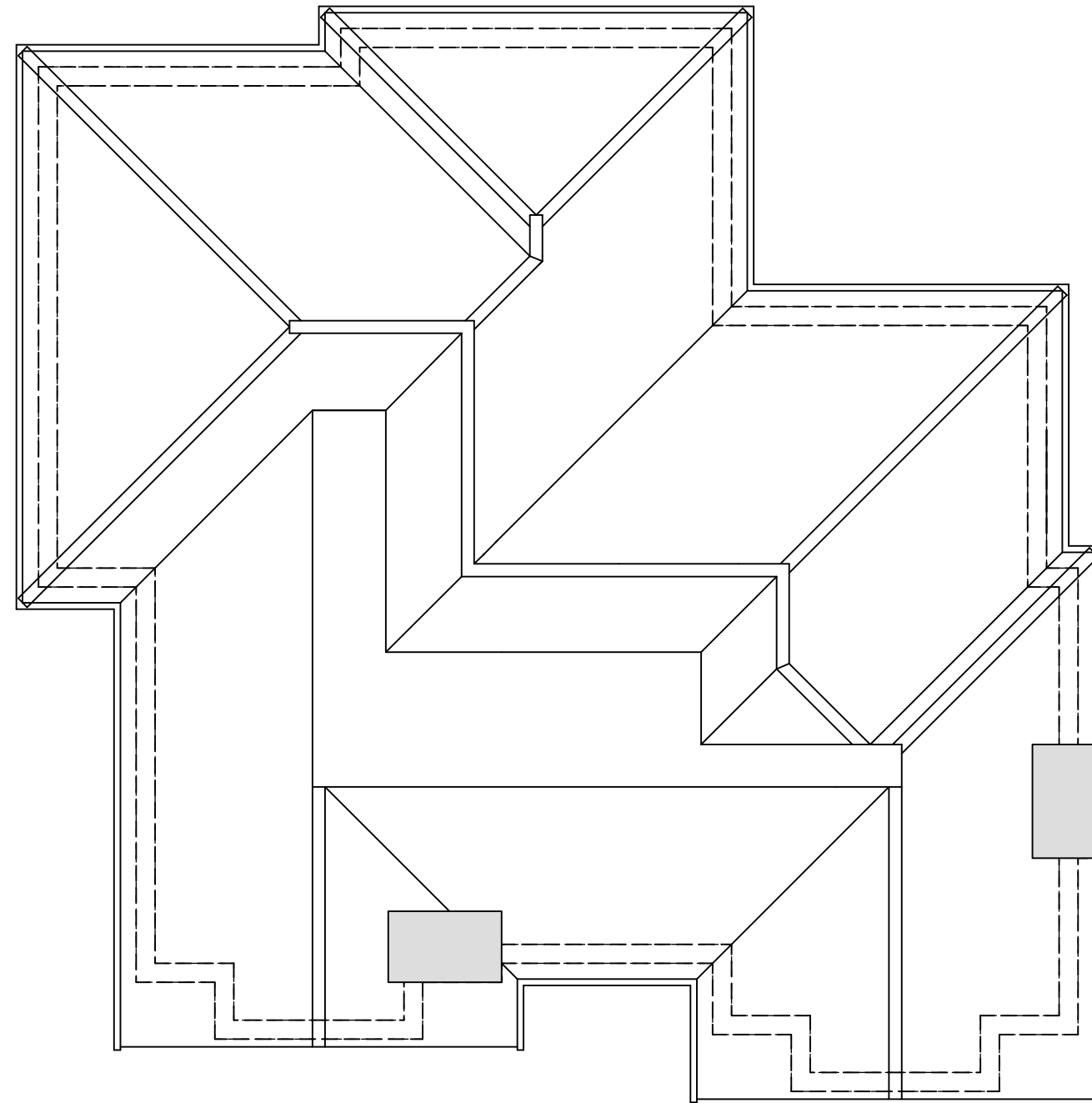
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Rev. A - 5/12/12 - Additional chimmney shown

Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 1 - Roof Plan

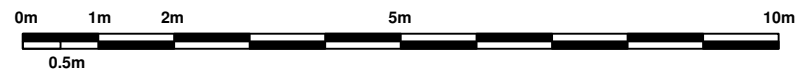
Status
Planning

Dwg No
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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 1 - North - West Elevation

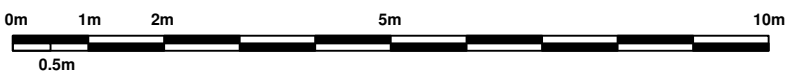
Status
Planning

Dwg No
1218 / 07


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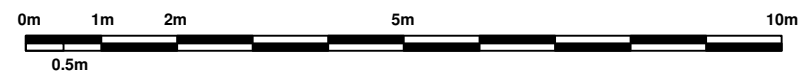
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<p>Project 3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH</p>	<p>Date October 2012</p>	<p>Scale 1:100 @ A3</p>	 <p>Tel/Fax: 01732 832358 e-mail: jml@smartarchitecture.co.uk</p>
<p>Title Plot 1 - South West Elevation</p>	<p>Status Planning</p>	<p>Dwg No 1218 / 08</p>	<p>Rev A</p>



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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 1 - South East elevation

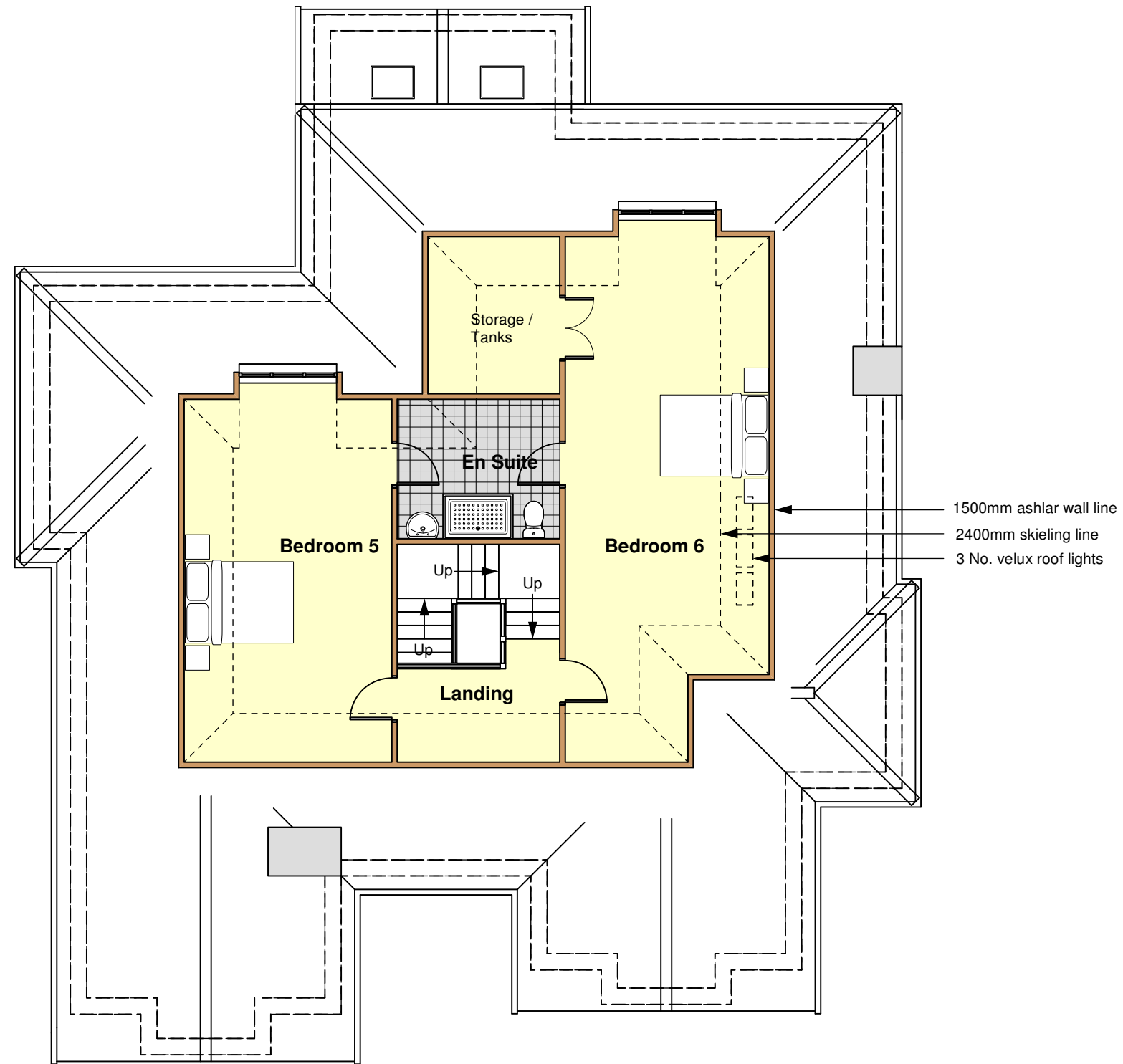
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Planning

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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 2 - Roofspace Plan

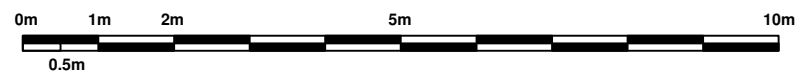
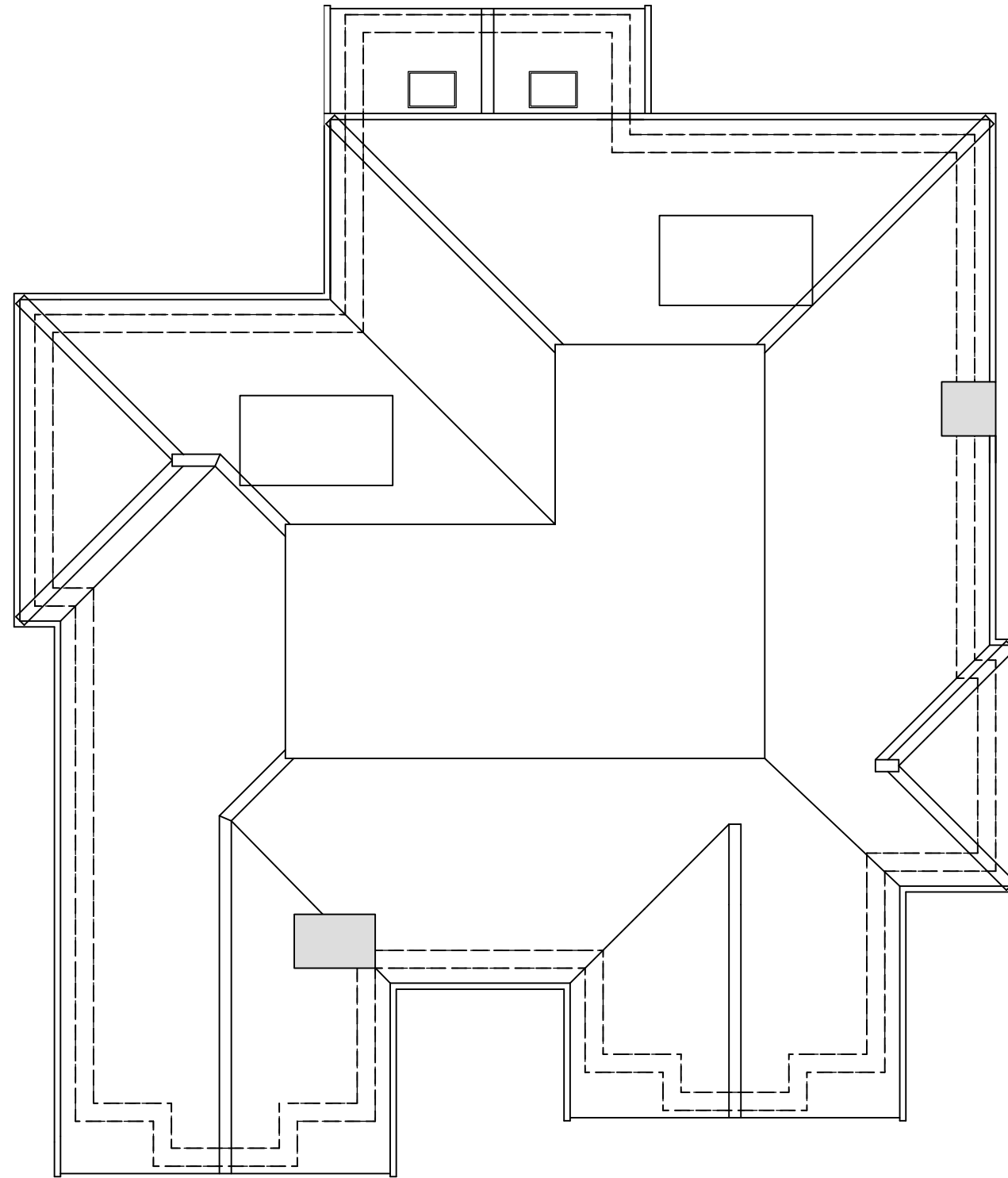
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Planning

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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 2 - Roof Plan

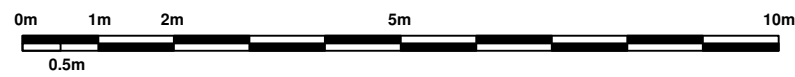
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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 2 - Front Elevation (facing North - West)

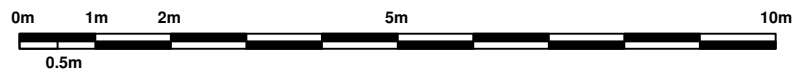
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Dwg No
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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 2 - Side Elevation (facing South West)

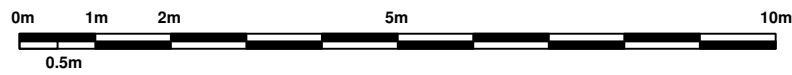
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Planning

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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 2 - South East (Garden) Elevation

Status
Planning

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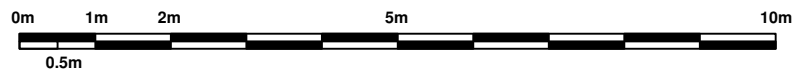
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Extg. ground level shown in broken line



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Date
October 2012

Scale
1:100 @ A3

Title
Plot 2 - North East Elevation

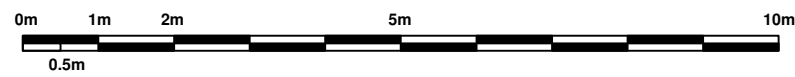
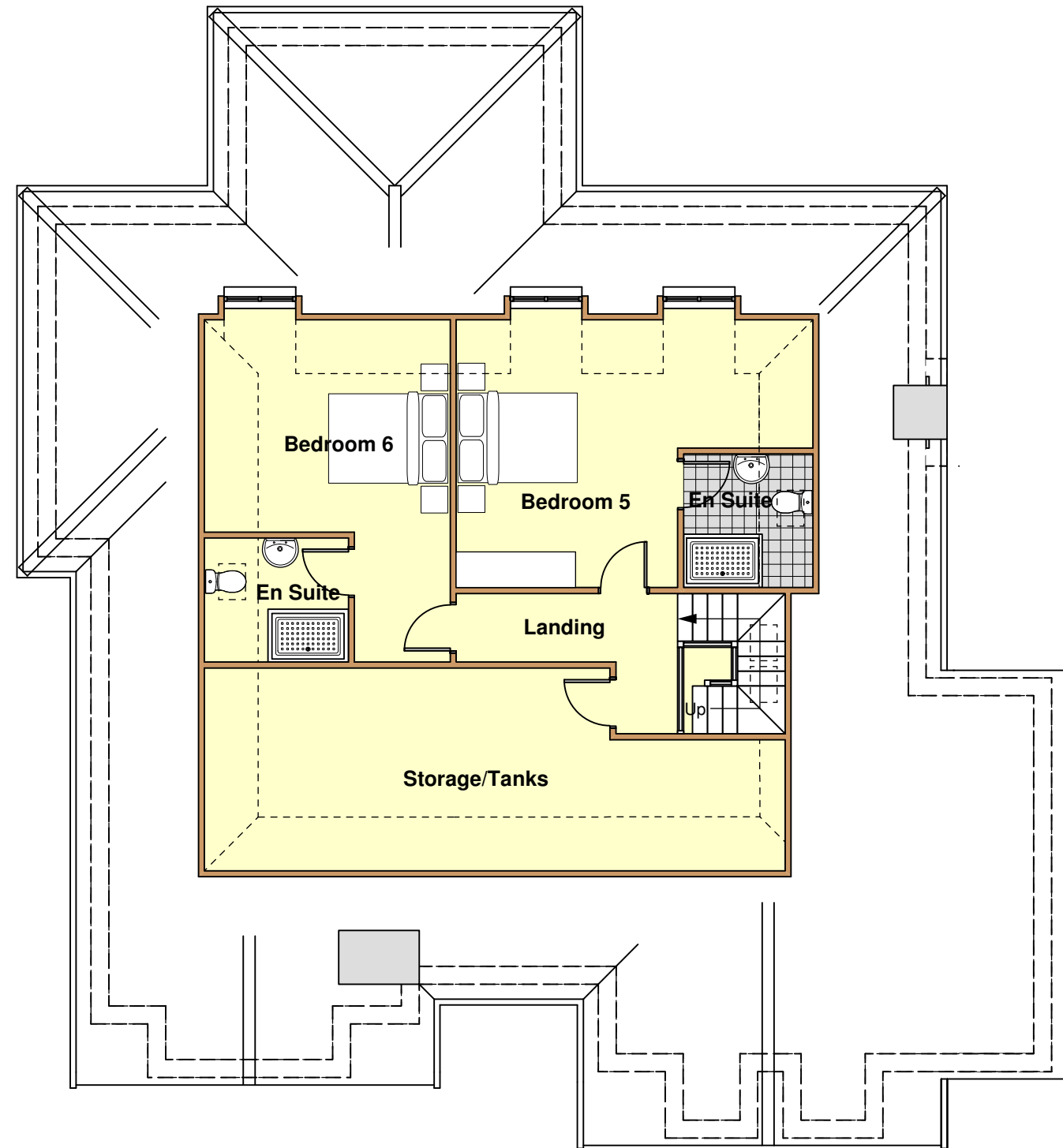
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Project

3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date

October 2012

Scale

1:100 @ A3

Title

Plot 3 - Roof Space Plan

Status

Planning

Dwg No

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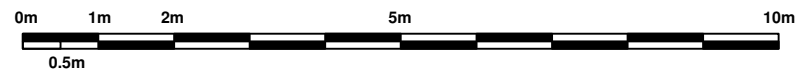
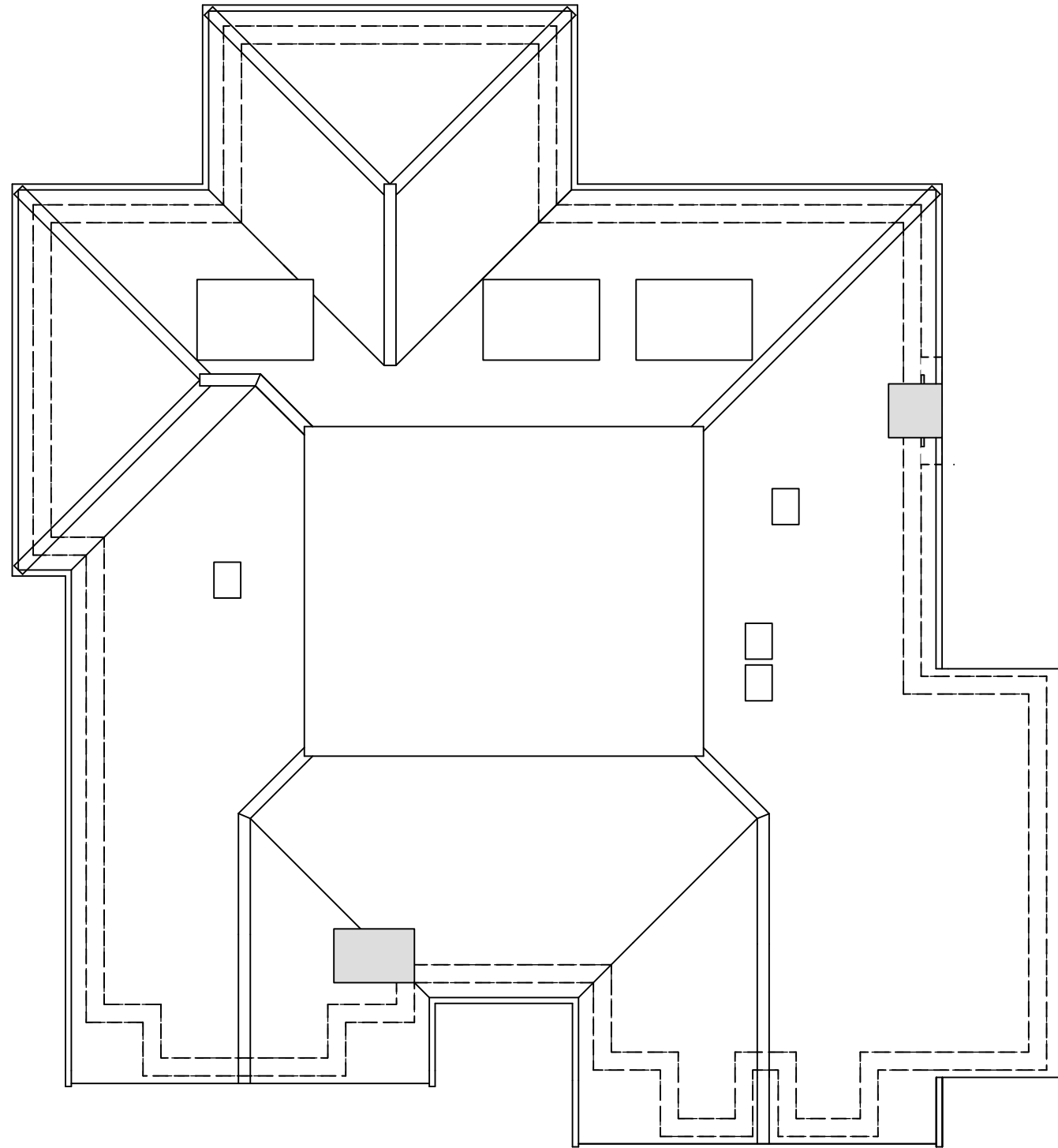
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Project
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Date
October 2012

Scale
1:100 @ A3

Title
Plot 3 - Roof Plan

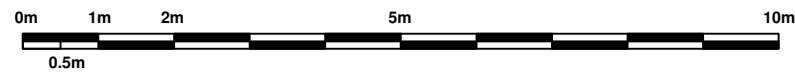
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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 3 - North - West (front) elevation

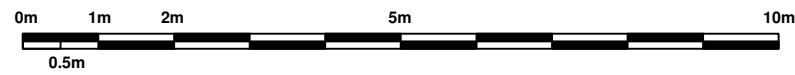
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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
October 2012

Scale
1:100 @ A3

Title
Plot 3 - South West Elevation

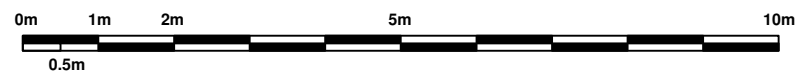
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Project
3 New Dwellings at 'Kingsworthy House' The Glade, Kingswood, Surrey KT20 6LH

Date
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Scale
1:100 @ A3

Title
Plot 3 - North East elevation

Status
Planning

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